



**93 Queens Parade, Cleethorpes, North East Lincolnshire, DN35 0DQ**  
**£264,000**

## Key Features:

- Traditional Bay Fronted Semi Detached Home
- Highly Sought After Residential Location
- Three Bedrooms
- Two Reception Rooms
- Downstairs WC & First Floor Family Bathroom
- Period Features
- Generous Rear Garden
- Off Road Parking

This attractive three bedroom semi-detached home is ideally located just minutes' walking distance of the seafront and lies within the catchment of the popular Signhills Primary Academy - making it perfect for young families or those looking to enjoy life near the coast.

Full of traditional charm and character, the accommodation offers two spacious reception rooms - a rear aspect lounge with multi fuel stove, and a bay fronted sitting/dining room with an open fire - both providing comfortable and inviting living spaces. The kitchen has a practical galley layout, and there's a convenient downstairs cloakroom/WC.

Upstairs are three bedrooms and a family bathroom - the main bedroom stands out with high quality bespoke fitted storage, offering excellent use of space and a modern, built-in finish.

Outside, there's a generously sized rear garden, perfect for entertaining and family time, along with valuable off road parking to the front.

Set in a highly favoured and well-established area of Cleethorpes, the home offers an opportunity to enjoy traditional features, a classic layout, and a coastal lifestyle...Viewing Highly Recommended.



## ENTRANCE HALL

Accessed via a traditional style composite front door. With karndean flooring, and staircase with spindle balustrade to the first floor.

## CLOAKROOM/WC

4'2" x 3'5" (1.28 x 1.06)

Fitted with a wc and hand basin



## SITTING/DINING ROOM

14'6" x 12'3" (4.44 x 3.74)

With fireplace incorporating an open fire, solid wood flooring, and bay window with plantation shutters.

## REAR LOUNGE

15'0" x 10'10" (4.59 x 3.31)

With fireplace incorporating a multi fuel stove, fitted alcove storage, and engineered oak flooring. Overlooking the rear garden with access onto the patio area.

## KITCHEN

11'7" x 6'9" (3.55 x 2.07)

Comprising of fitted wall and base units, worktops inset with a ceramic sink, built-in oven/grill, and an induction hob. Integrated dishwasher, and space for further appliances. Unit housing the gas central heating boiler. Side aspect window, and stable style door leading onto the rear garden.



## FIRST FLOOR LANDING

With a side aspect window, and access to the loft via a drop-down ladder.

## BEDROOM 1

13'5" x 11'8" (4.09 x 3.56)

Featuring a range of built-in wardrobes and alcove storage by Haargensens. Bay window to front aspect.



## BEDROOM 2

12'10" x 10'0" (3.92 x 3.06)

To rear aspect, a second double bedroom with fitted wardrobes

## BEDROOM 3

8'2" x 7'10" (2.49 x 2.41)

To rear aspect, with built-in wardrobes.

## BATHROOM

6'8" x 6'2" (2.05 x 1.89)

Fitted with a pedestal basin, wc, panelled bath with shower over, and heated towel rail.



## OUTSIDE

The rear garden is mainly laid to lawn, with established beds/borders, and a full width paved patio area. Shed, and gated side access. The front of the property is set open plan providing off road parking.

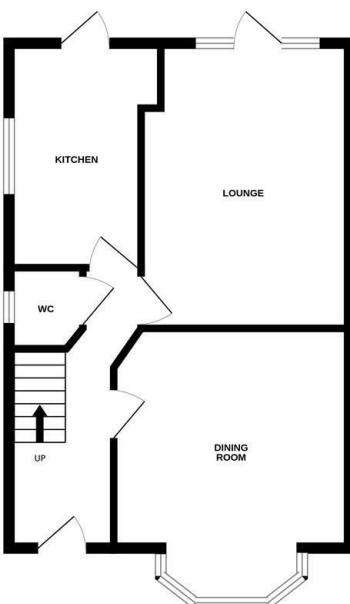
## TENURE

FREEHOLD

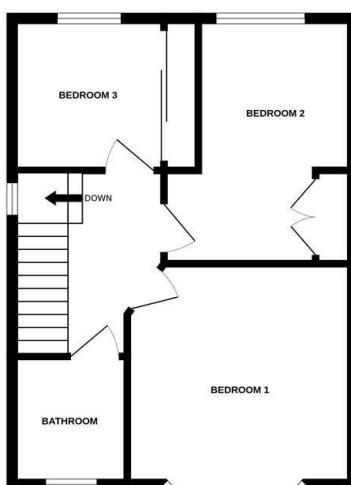
## COUNCIL TAX BAND

B

GROUND FLOOR  
483 sq.ft. (44.9 sq.m.) approx.



1ST FLOOR  
439 sq.ft. (40.7 sq.m.) approx.



TOTAL FLOOR AREA - 922 sq.ft. (85.7 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floor plans contained herein, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and equipment shown have not been tested and no guarantee as to their operability or efficiency can be given.

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Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	

## Viewing

By appointment only.

## Tenure

We are advised by the vendor that the property is: As Above However, prospective purchasers should have the tenure of this property confirmed by a solicitor.

Additional Information Local Authority: North East Lincolnshire Council Telephone 01472 313 131

Services: All mains services are available or connected subject to the statutory regulations. we have not tested any heating systems, fixtures, appliances or services.

## DISCLAIMER - IMPORTANT NOTICE REGARDING SALES PARTICULARS

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